



**HORIZON UPTOWN HOMEOWNER RESIDENTIAL IMPROVEMENT GUIDELINES**  
**May 17, 2023**

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## **I. INTRODUCTION**

1.1 **Basis for Guidelines.** These Residential Improvement Guidelines are intended to assist homeowners living in **Horizon Uptown** in implementing home improvements to their property. The Restrictive Covenants establishing the **Design Review Board** require prior approval before construction, installation, erection, or alteration of any structure, attachment to any structure, or landscaping of any lot in **Horizon Uptown** shall be made. For instance, any change to existing landscaping, new landscaping, or change to the final grade of property; the construction or installation of any accessory building, patio, deck, pool, or hot tub; the demolition or removal of any building or other improvement including changing paint colors must be submitted for prior approval. In order to assist homeowners, the Design Review Board intends to establish certain pre-approved designs for several types of improvements and to exempt certain improvements from the requirement for approval. This booklet contains the guidelines established by the Board of Directors with respect to residential property.

1.2 **Contents of Guidelines.** In addition to the introductory material, these Guidelines contain (A) a listing of specific types of improvements that homeowners might wish to make with specific information as to each of these types of improvements and (B) a summary of procedures for obtaining approval from the Horizon Uptown Design Review Board.

1.3 **Design Review Board.** The Horizon Uptown Design Review Board consists of five (5) members, all of whom are appointed by the Board of Directors and are to review requests for improvement/design approval.

### **1.4 Design Review Board Address and Phone.**

Horizon Uptown Design Review Board  
c/o CliftonLarsonAllen  
8390 E Crescent Parkway  
Greenwood Village, 80111  
DesignReview@CLAconnect.com

1.5 **Effect of Community and Supplemental Resolutions.** The Restrictive Covenants Establishing Design Review Board for Horizon Uptown is a document governing property within **Horizon Uptown**. Copies of the Restrictive Covenants including amendments are delivered to new home buyers when they purchase their homes and are available at any time from the Design Review Board. Each homeowner should review and become familiar with the Restrictive Covenants including amendments. Nothing in these Guidelines can supersede or alter the provisions or requirements of the Restrictive Covenants and, if there is any conflict or inconsistency, the Restrictive Covenants as amended will control.

1.6 **Effect of Governmental and Other Regulations.** Use of property and any improvements must comply with applicable building codes and other governmental requirements and regulations. For general information about the City of Aurora requirements, homeowners may write or call the City of Aurora Building Department at 303-739-7420 or email

permitcounter@auroragov.org.

**Approval by the Design Review Board will not constitute assurance that improvements comply with applicable governmental requirements or regulations or that a permit or approvals are not also required from applicable governmental bodies.**

1.7 **Interference with Utilities.** In making improvements to property, homeowners are responsible for locating all water, sewer, gas, electrical, cable television, or other utility lines or easements. Homeowners should not construct any improvements over such easements without the consent of the utility involved and homeowners will be responsible for any damage to any utility lines. All underground utility lines and easements can be located by contacting:

**Utility Notification Center of Colorado 1-800-922-1987**

1.8 **Goal of Guidelines.** Compliance with these Guidelines and the provisions of the Restrictive Covenants will help preserve the inherent character and aesthetic quality of Horizon Uptown. It is important that improvements to property be made in harmony with and not detrimental to the rest of the community. A spirit of cooperation with the Horizon Uptown Design Review Board and neighbors will go far in creating an optimum environment, which will benefit all homeowners. By following these Guidelines and obtaining prior written approval for improvements to property from the Design Review Board, homeowners will be protecting their financial investment and will help ensure that improvements to property are compatible with standards established. If a question ever arises as to the correct interpretation of any terms, phrases or language contained in these guidelines, the Design Review Board interpretation thereof shall be final and binding.

1.9 **Completion of Landscaping.** Landscaping not installed by the Builder, including but not limited to landscaping inside privacy fence, shall be completion within one-hundred eighty (180) days after acquisition of such Lot by the homeowner, if said acquisition occurs between April 1 and October 31, or by the following October 31 if such acquisition does not occur between such dates. Should an extension be foreseen due to time of the year, a written notice must be made to the Design Review Board at minimum seven (7) days prior to the expiration of the applicable landscape completion period, at which time the Design Review Board will issue a new time requirement to the homeowner, but in no case later than twelve (12) months after conveyance. **Refer to section 2.40**

## II. **SPECIFIC TYPES OF IMPROVEMENTS - GUIDELINES**

2.1 **General.** The following is a listing, in alphabetical order, of a wide variety of specific types of improvements which homeowners typically consider installing, with pertinent information as to each. **Unless otherwise specifically stated, drawings or plans for a proposed improvement must be submitted to the Design Review Board and written approval of the Design Review Board obtained before the improvements commence.** In some cases, where it is specifically so noted, a homeowner may proceed with the improvements without advance approval if the homeowner follows the stated guideline. In some cases, where specifically stated, some types of improvements are prohibited. If you have an improvement in mind that is not listed below, Design Review Board review and approval is required.

2.2 **Accessory Buildings. See Sheds Section 2.63.**

- 2.3 **Additions and Expansions.** Approval is required. Additions or expansions must be constructed of wood, Masonite, glass, brick, stone, or other material resembling the material used in construction of the exterior of the home. The design must be the same or generally recognized as a complimentary architectural style and meet all design guidelines as may be applicable. Colors must be the same as that of the residence.
- 2.4 **Address Numbers.** Approval is required to replace or relocate existing address numbers.
- 2.5 **Advertising.** All trade signs, which includes, but not limited to, landscaping, painting, and roofing, may only be displayed while work is in progress and must be removed upon completion of the job. Realty signs, etc. **See Signs. Section 2.65.**
- 2.6 **Air Conditioning Equipment.** Approval is required for all air conditioning equipment including evaporative coolers (swamp coolers) and attic ventilators. No heating, air conditioning, air movement (e.g. swamp coolers) or refrigeration equipment shall be placed or installed on rooftops or extended from windows. Ground mounted or exterior wall air conditioning equipment installed in the side yard must be installed in a manner so as to minimize visibility from the street and minimizes any noise to adjacent property owners and must be screened or enclosed with like materials to the home or with approved plant material.
- 2.7 **Alleys.** Parking in the alleys is prohibited. Alleys are intended as access to each garage unit and not for storage. Homeowners must keep alleys clear of obstructions. Any trees or plants hanging over a rear fence into the alley must be trimmed back to the fence line. Construction materials, storage bins, ladders, landscaping materials and debris cannot be stored in the alley.
- 2.8 **Antennae.** Horizon Uptown has adopted the following rules, regulations and restrictions for the installation and maintenance of exterior antennas in the community in compliance with the Federal Communications Commission Rule, which became effective October 4, 1996:
- A. Notification. Before installation of any direct broadcast satellite (DBS) satellite dish that is one (1) meter or less in diameter, multi-channel multi-point distribution service wireless cable (MMDS) antenna that is one meter or less in diameter or diagonal measurement, or television antenna is permitted; the Owner of the property where the antenna is being installed must notify the Design Review Board in writing using a Design Review Request Form.
  - B. Antenna Location. The primary installation location for a DBS satellite dish and MMDS antenna shall be in a location in the backyard that is shielded from view from the street(s) and adjacent residences, provided such location does not preclude reception of an acceptable quality signal.
- 2.9 **Awnings.** **See Overhangs/Awnings Cloth or Canvas Section 2.44.**
- 2.10 **Balconies.** **See Decks Section 2.19.**
- 2.11 **Barbecue/Gas Grills/Outdoor Kitchens/Smokers.** All barbecue grills, smokers, etc. must be maintained in the rear yard or within an enclosed structure, not visible from the front of the home. Additionally, all equipment needs to be placed in a location that does not directly affect

the neighboring lots.

- 2.12 **Basketball Backboards.** No basketball backboards shall be attached to the garage. Only portable basketball backboards shall be allowed and do not require approval if the following guidelines are met: 1) portable units cannot be placed in the public right of ways, alleys, streets, or sidewalks; 2) location must be at least half of the length of the driveway away from the street. This location constitutes proper placement and the unit must be kept in this location and stored out of sight when not in use.
- 2.13 **Birdbaths.** Approval is not required if placed in the rear yard and if finished height is no greater than five (5) feet including any pedestal. Placement in front or side yard is not allowed. **See Statutes and Fountains Section 2.71.**
- 2.14 **Birdhouses and Bird Feeders.** Approval is not required if installed in the rear yard and the size is limited to one foot by two feet. No more than three in number, of each, shall be installed on any lot. A birdhouse or bird feeder, which is mounted on a pole, may not exceed six (6) feet in height.
- 2.15 **Carpports.** Are not permitted.
- 2.16 **Clothes Lines and Hangers.** Are not permitted.
- 2.17 **Cloth or Canvas Overhangs.** **See Overhangs/Awnings Cloth or Canvas Section 2.44.**
- 2.18 **Compost.** Approval is required. Container must not be immediately visible to adjacent properties and odor must be controlled. Underground composting is not allowed.
- 2.19 **Decks.** Approval is required. The deck must be constructed of redwood or composite type decking products approved by the Design Review Board. The decking material must be either redwood in color or of a color that matches one of the exterior paint colors or the masonry on the home. Maintenance free (composite) decking products may be used if the decking material is either redwood in color or of a color that matches one of the exterior paint colors or masonry on the home. The deck should be located so as not to obstruct or greatly diminish the view or create an unreasonable level of noise for adjacent property owners.

Construction shall not occur over easements and comply with setback requirements of the **Horizon Uptown Design Standards and Guidelines, Volume 5: The Neighborhoods, Section 3.2 Setback Standards for all Lot Types.** A minimum setback of 6 feet at rear or side street lots is required. (See Appendix)

Homeowners are reminded that as with redwood, some types of maintenance free decking products may also require periodic maintenance for proper care and to retain the products aesthetic conformity, including but not limited to, fading, warping, etc.

Decks may be finished with Behr Premium Naturaltone Transparent Waterproofing, or similar product in Cedar or Redwood. The deck may also be painted to match the body or trim color of the home.

- 2.20 **Dog Houses.** Approval is required. Doghouses are restricted to ten (10) square feet and must be located in a fenced back yard or dog run. Doghouses must be installed at ground level and must



not be visible above the fence. Must match exterior of home (wood, brick, stone, etc.) Limit of one doghouse per home/lot. **See Fences, Section 2.27.**

2.21 **Dog Runs.** Approval is required. Dog runs must be located in the rear or side yard, abutting the home and substantially screened from view by planting fast-growing or mature trees or shrubs. **The fencing materials and design shall match requirements of section 2.27 Fences.** The dog run fence should be left natural in color and sealed to prevent weathering. In some cases, written consent from adjacent neighbors may be requested. Tarpaulins and chain-link will not be permitted.

2.22 **Doors.** Approval is not required for an already existing main entrance door to a home or an accessory building if the material matches or is similar to existing doors on the house and if the color is generally accepted as a complimentary color to that of existing doors on the house. Complementary colors would be the body color of the house.

A. **Storm Doors.** Approval is required for storm doors. Style and colors should be complimentary with the color scheme of the home.

B. **Security Doors and Windows.** All security or security-type doors and windows must be approved prior to installation. No bar style security doors will be permitted.

2.23 **Drainage.** There shall be no interference with the established drainage pattern over any property. The established drainage pattern means the drainage pattern as engineered and constructed by the homebuilder prior (or in some cases, immediately following) conveyance of title from the home builder to the individual homeowner. When installing your landscaping, it is very important to ensure that water drains away from the foundation of the house and that the flow patterns prevent water from flowing under or against the house foundation, walkways, sidewalks, and driveways into the street. The Design Review Board may require a report from a drainage engineer as part of landscaping or improvement plan approval. Landscaping should conform to the established drainage pattern. Sump pump drainage should be vented a reasonable distance from the property line, on the owner's property, to allow for absorption. Adverse effects to adjacent properties will not be tolerated.

2.24 **Driveways/Driveway Extensions.** Changes or alterations will not be permitted; including a pull-off area to the side of driveway or widening or adding to the driveway to allow for additional parking. Parking in rear or side yard is not permitted. Cracked or uneven driveways need to be repaired or replaced and driveways must be kept free of stains, and oil leaks.

2.25 **Evaporative Coolers.** Approval is required. No rooftop or window mount installations are allowed. **See Air Conditioning Equipment Section 2.6.**

2.26 **Exterior Lighting.** **See Lights and Lighting Section 2.42.**

2.27 **Fences.** The Board of Directors may issue, from time to time, design guidelines, which address fencing requirements, including without limitation, approved types, heights, materials, locations, and other criteria governing fencing. **(See Appendix).**

All fences must be maintained in good working condition. In the event of a fallen rail or damage to a fence (cracked, leaning posts, etc.), the homeowner must have a contract for repair within 30 days. If the repair cannot be completed within 30 additional days, please contact the Design

Review Board to request additional time.

Approval is not required if color and/or color combinations are identical to the original color established on the fence. Any changes to the color scheme or color changes must be submitted for approval and must conform to the general scheme of the community. Cedar or redwood fences may be left in their natural state. Utilize Behr Premium Naturaltone Transparent Waterproofing, or similar product in Cedar or Redwood.

**2.28 Firewood Storage. See Wood Storage Section 2.85.**

**2.29 Flag/Flagpoles.** Approval is required for any freestanding flagpole. Approval is not required for flagpoles mounted to the front of the residence if they are temporary in nature and are only used to display holidays or in celebration of specific events. Under no circumstance may the height of the flagpole exceed the height of the roofline of the residence with a maximum length of six (6) feet. No flag shall exceed 20 square feet in surface area.

**2.30 Garbage Containers and Storage Areas. See Trash Containers, Enclosures and Pickup Section 2.78.**

**2.31 Gardens-Flower or Vegetable.** Approval is not required for flower or vegetable gardens that do not exceed 100 total square feet. All flower gardens must be weeded, cared for and maintained. Vegetable gardens should be in the rear or side yard and screened from view of adjacent homeowners.

**2.32 Gazebos.** Approval is required. A gazebo must be an integral part of the rear yard landscape plan and must not obstruct the adjacent property owner's view. A gazebo must be similar in material and design to the residence and the color must be generally accepted as a complementary color to the exterior of the residence. Refer to the City of Aurora for any additional guidelines.

**2.33 Grading and Grade Changes. See Drainage. Section 2.23.**

**2.34 Greenhouses.** Approval is required. Generally, greenhouses will be discouraged due to the extensive maintenance required and the overall visual impact to neighboring lots. Approval will be based upon but not limited to general aesthetics, quality and permanence of materials used. Adequate screening will be required.

**2.35 Hanging of Clothes. See Clotheslines and Hangers Section 2.16.**

**2.36 Hot Tubs and Jacuzzis.** Approval is required. Must be an integral part of the deck or patio area and of the rear yard landscaping. Must be installed in such a way that it is not immediately visible to adjacent property owners and that it does not create an unreasonable level of noise for adjacent property owners. In some instances, additional plant material, around the hot tub, may be required for screening.

**2.37 Irrigation Systems.** All homes must have an underground automatic irrigation system installed with the landscape.

**2.38 Jacuzzis. See Hot Tubs and Jacuzzis Section 2.36.**

2.39 **Kennels.** Breeding or maintaining animals for a commercial purpose is prohibited. **See 2.21 Dog Runs.**

2.40 **Landscaping.** Approval is required. Landscaping not installed by the Builder, including but not limited to landscaping inside privacy fence, shall be completion within one-hundred eighty (180) days after acquisition of such Lot by the homeowner, if said acquisition occurs between April 1 and October 31, or by the following October 31 if such acquisition does not occur between such dates. Should an extension be foreseen due to time of the year, a written notice must be made to the Design Review Board at minimum seven (7) days prior to the expiration of the applicable landscape completion period, at which time the Design Review Board will issue a new time requirement to the homeowner, but in no case later than twelve (12) months after conveyance. Artificial turf is only permitted in rear yards. Xeric landscaping can be installed in front yards. For landscaping minimums, requirements, and xeric guidelines see exhibit Blank . **(See Appendix)**

Artificial turf is only permitted in rear yards. Xeric landscaping can be installed in front yard.

Once installed landscaping must be maintained by the homeowner in a neat, attractive, and well-kept condition, which must include lawns mowed, hedges, shrubs, and trees pruned and trimmed, adequate watering, replacement of dead, diseased, or unsightly materials and removal of weeds and debris.

2.41 **Latticework.** Approval is required for any type of trellis or latticework.

2.42 **Lights and Lighting.** Approval is required for all exterior lighting. Exterior lights must be conservative in design and be as small as reasonably practical. Exterior lighting should be directed toward the ground and be of low wattage to minimize the glare to neighbors and other homeowners. Lighting for walkways generally should be placed on wooden standards and lighting fixtures should be dark colored so as to be less obtrusive. The use of motion detector spotlights, high-wattage spotlights or floor lights, ballasted fixtures (sodium, mercury, multi-vapor, fluorescent, metal halide, etc.) require approval. Any permanent lighting (i.e. jellyfish lights, gemstone lights, etc.) on the home must be off unless it is being used for holiday lighting. For additional information regarding **Holiday Lighting** see **Seasonal Decorations Section 2.61.**

2.43 **Microwave Dishes.** **See Antennae Section 2. 8**

2.44 **Overhangs/Awnings Cloth or Canvas.** Approval is required. An overhang should be an integral part of the house or patio design. The color must be the same as, or generally recognized as, a complementary color to the exterior of the residence. Must provide swatch of material to be used. **See also, Patio Covers Section 2.46.**

2.45 **Painting.** Approval is not required if color and/or color combinations are identical to the original color established on the home. Any changes to the color scheme or color changes must be submitted for approval and must conform to the general scheme of the community. (See Appendix)

To submit color changes for the home, submit the Design Review Request Form with the color samples labeled (manufacturer's name and color codes) and painted on a hard surface which is at least 12" x 12", with a picture of the house(s) on either side of your home and a picture of the subject property

with indications for where requested colors will be used (i.e. base, trim, etc.) to the Design Review Board.

- 2.46 **Patio Covers.** Patio covers must be constructed of material consistent with the home and be similar or generally recognized as complementary in color to the colors on the house. Freestanding patio covers may be permitted as well as extensions of the roof.
- 2.47 **Patios (Enclosed).** See Additions and Expansions Section 2. 3.
- 2.48 **Patios (Open).** Open patios must be an integral part of the landscape plan and must be located so as not to create an unreasonable level of noise for adjacent property owners. In some instances, additional plant material, around the patio, may be required for screening. The patio and materials must be similar or generally accepted as a complementary color and design to the residence.
- 2.49 **Paving.** Approval is required. Paving of all walks, patio areas, or other purposes and for all materials used, including concrete, brick, flagstones, steppingstones, pre-cast patterned or exposed aggregate concrete pavers. Asphalt will not be allowed. See Driveways Section 2.24.
- 2.50 **Pipes.** See Utility Equipment Section 2.80.
- 2.51 **Play Structures and Sports Equipment.** Consideration will be given to adjacent properties (a min. 5-foot setback from the property line, for trampolines, swing sets, fort structures, etc.) so as not to create an undue disturbance. In some instances, additional plant material, around the equipment, may be required for screening. Wood structures should be constructed of pressure treated or other weather resistant materials. All play and sports equipment must be maintained in a good and sightly manner. The use of multi-rainbow-colored cloth/canvas tarps is discouraged.
- 2.52 **Playhouses.** A structure more than 24 square feet and/or over six feet high requires approval. The structure should match the home in both color and materials.
- 2.53 **Poles.** See Flagpoles Section 2.29 and Utility Equipment, Section 2.80.
- 2.54 **Pools.** Above ground pools are prohibited. See Hot Tubs and Jacuzzis Section 2.36.
- 2.55 **Radio Antennae.** See Antennae. Section 2.8.
- 2.56 **Rooftop Equipment.** Approval is required.
- 2.57 **Roofing Materials.** Repairs to an existing roof using the same building material that exist on the home, do not require prior approval, however, attention should be paid to avoid color fading discrepancies. Approval is required for replacement of an existing roof with a new roofing material or roof color. (See Appendix)
- 2.58 **Satellite Dishes.** See Antennae Section 2.8.
- 2.59 **Saunas.** See Accessory Buildings Section 2.2.

2.60 **Screen Doors.** See **Doors Section 2.22.**

2.61 **Seasonal Decorations.** Approval is not required if the decorations are not installed more than 30 days before the holiday and removed within thirty (30) days after the holiday. The installation of seasonal decorations on any property owned and/or managed by the Horizon Metro District must first have written consent of the Horizon Metro District.

2.62 **Sewage Disposal Systems.** Are not permitted.

2.63 **Sheds.** Approval is required. Sheds must meet all setback requirements, cannot be installed within any easements, and are only permitted in the back yard. Sheds on the side of homes can be considered if there is a minimum of 5 feet from the side property line to the shed.

Sheds must be constructed of similar material and style of the existing home. The roofing and siding colors must match the existing home. Additionally, the roof overhangs must match the home (12-inches is typical), as well as a minimum 6-inch fascia width. The pitch of the shed roof must match the home. Building permits may be required by the City of Aurora and need to be submitted with Design Review Request for the request to be considered. No more than one shed will per lot will be permitted.

2.64 **Exterior Shutters.** Shutters should be of a similar material and of a color and design generally accepted as complementary to the exterior of the house.

2.65 **Signs.** One temporary sign advertising a home for sale or lease may be installed in the front yard and must be removed within two (2) days following the closing of the property, termination of the listing agreement, or signing of the lease agreement. All other signs, including address numbers and nameplate signs must be approved. No lighted sign will be permitted unless utilized by the Developer and/or a Builder. Per State Statute, one political sign per political candidate or ballot measure per household may be placed in the front yard of the lot during elections. All political signs must be removed within 48-hours of said election. No signs may be placed on any common or limited common property without the written consent of the Horizon Metro District.

2.66 **Skylights.** Bubble style skylights are prohibited.

2.67 **Snow.** Based on City of Aurora Ordinance, every property owner is responsible with keeping City's sidewalks adjacent to their property free and clear of snow and ice, even though the sidewalks may be behind or outside the rear and side fences and adjacent to streets. Snow and ice must be removed within 24 hours after a snowfall ends, and 48 hours after a snow emergency is declared by the city.

2.68 **Solar Energy Devices.** Device must be integrated into the design of the house to fit flush with the roof surface of the structure. Frame color of the device must match or blend with the roof surface. Owner must provide a drawing showing location of the device on the house including dimensions and color.

2.69 **Spas.** See **Hot Tubs and Jacuzzis Section 2.36.**

2.70 **Sprinkler Systems.** See **Irrigation Systems Section 2.37.**

- 2.71 **Statues or Fountains.** Approval is not required if the statue or fountain is installed in the rear yard and are a height not greater than five (5) feet, including the pedestal. If the statue or fountain is proposed for the front yard approval is required, and the statue or fountain location should be located close to the main entrance of the house.
- 2.72 **Storage Sheds.** See Sheds Section 2.63.
- 2.73 **Sunshades.** See Overhangs/Awnings Cloth or Canvas, Section. 2.44 and Patio Covers Section. 2.46.
- 2.74 **Swamp Coolers.** See Air Conditioning Equipment Section 2.6, Evaporative Coolers Section 2.25, and Rooftop Equipment Section 2.56.
- 2.75 **Swing Sets.** See Play and Sports Equipment Section 2.51.
- 2.76 **Television Antennae.** See Antennae, Section 2.8.
- 2.77 **Temporary Structures.** No structure of a temporary character, including but not limited to, a house trailer, tent, shack, storage shed, or outbuilding shall be placed or erected upon any lot. However, during the actual construction, alteration, repair or remodeling of a structure or other improvements, necessary temporary structures for storage of materials may be erected and maintained by the Declarant or a Person doing such work. The work of constructing, altering, or remodeling any structure or other improvements shall be prosecuted diligently from the commencement thereof until the completion thereof. See Sheds Section 2.63.
- 2.78 **Trash Containers, Enclosures and Pickup.** Approval is required for any trash or garbage enclosure. Refuse, garbage, trash, lumber, grass, shrub or tree clippings, plant waste, compost, metal, bulk materials, scrap, refuse or debris of any kind may not be kept, stored or allowed to accumulate on any lot except in sanitary containers or approved enclosures. No garbage or trash cans or receptacles shall be maintained in an exposed or unsightly manner (except that a container for such materials may be placed outside at such times as may be necessary to permit garbage or trash pickup.) Trash may be placed on the street for pickup after 5:00 a.m. on the day that such trash is to be picked up. Trash containers must be properly stored the evening of pickup. See Compost Section 2.18.
- 2.79 **Tree Houses.** Are not permitted.
- 2.80 **Utility Equipment.** Installation of utilities or utility equipment requires approval. Under the Restrictive Covenants, pipes, wires, poles, utility facilities must be kept and maintained, to the extent reasonably possible, underground or within an enclosed structure.
- 2.81 **Vanes.** See Weathervanes and Directional Section 2.85.
- 2.82 **Vents.** See Rooftop Equipment Section 2.56 and Air Conditioning Equipment Section 2.6.
- 2.83 **Walls.** See Fences Section 2.27.

2.84 **Weathervanes and Directionals.** Are not permitted.

2.85 **Wood Storage.** Is not permitted.

2.86 **Work Involving Common Areas.** Driving of any vehicles, or using wheelbarrows, across Common Area is not permitted. However, when circumstances warrant, the Design Review Board will consider requests provided that prior approval is obtained, and the homeowner advances funds as may be reasonably required by the Horizon Metro District to repair any damage. The actual restoration of the Common Area will be done by the Horizon Metro District.

### III. **PROCEDURES FOR DESIGN REVIEW BOARD APPROVAL**

3.1 **General.** All exterior improvements to the house and Lot require written approval in advance before the "Improvement to Property" begins. This section of the Guidelines explains how such approval can be obtained.

3.2 **Drawings or Plans.** Homeowners are required to submit complete plans and specifications prior to commencement of any work on any improvement (said plans and specifications to show exterior design, height, materials, color, location of the structure or addition to the structure, plotted horizontally and vertically, location and size of driveways, general plan of landscaping, fencing, walls, windbreaks and grading plan, as well as such other materials and information as may be required). In most cases, the materials to be submitted will not have to be professionally prepared by an architect, a landscape architect or draftsman and a simple drawing and description will be sufficient. In the case of major improvements, such as room additions, structural changes, or accessory building construction, detailed plans and specifications, prepared by a licensed architect, may be required. Whether done by you or professionally, the following guidelines should be followed in preparing drawings or plans.

- A. In some instances, elevation drawings of the proposed improvement will be required. The elevation drawings should indicate materials. The drawing or plan should be done to scale and should depict the property lines of your lot, all recorded easements and the outside boundary lines of the home as located on the lot. If you have a copy of an improvement location certificate (survey) of your lot obtained when you purchased it, this survey would be an excellent base from which to draw.
- B. Existing improvements, in addition to your home, should be shown on the drawing or plan and identified or labeled. Such existing improvements include driveways, fencing, walks, decks, trees, bushes, etc.
- C. The proposed improvements should be shown on the plan and labeled. Either on the plan or on an attachment, there should be a brief description of the proposed improvement, including the materials to be used and the colors.  
(Example: Redwood deck, 10 feet by 12 feet with 2-inch by 4-inch decking. Natural stain.)
- D. The plan or drawing and other materials should show the name of the homeowner, the address of the home and a telephone number where the homeowner can be reached.
- E. The proposed improvements must take into consideration the easements, building location restrictions and sight distance at intersections.
- F. Homeowners should be aware that many improvements require a permit from the Building Department. The Board of Directors reserves the right to require a copy of such permit as a condition of its approval.

- 3.3 **Submittal Requirements.** Once drawings or plans been developed, a submittal to the Horizon Uptown Design Review Board should be prepared. The submittal must contain the following information:
- A. Design Review Request Form (Exhibit A)
  - B. Owner's name, address, email address, and telephone number
  - C. Designer's name, address, and telephone number (if applicable)
  - D. Scale of 1 inch = 10 feet and north arrow
  - E. All existing conditions including house, walks, driveways, patios, decks, walls, plants, trees, drainage ways, property lines, and any easements.
  - F. All proposed landscape planting improvements and landscape features such as walls, patios, structures, hot tubs, gazebos, water features, shrubs, trees, perennial and annual beds.
- 3.4 **Review Fee.** The Restrictive Covenants authorizes the Horizon Uptown Design Review Board to collect a fee for review the plans of proposed improvements, presently there is no charge for review. The Board of Directors reserves the right to charge a fee to cover the cost of any engineering consulting or other fees reasonably incurred by the Association in reviewing any proposed improvement.
- 3.5 **Action by Board of Directors/Horizon Uptown Design Review Board.** The Board of Directors or its designated representative will regularly review all plans submitted for approval. The Board of Directors/Horizon Uptown Design Review Board may require submission of additional material and may postpone action until all required materials have been submitted. The Design Review Board will contact you by phone, if possible, if additional materials are necessary or if it needs additional information or has any suggestions for change.
- 3.6 **Prosecution of Work.** A proposed improvement to property should be accomplished as promptly and diligently as possible in accordance with the approved plans and description. The work must be completed, in any event, within six months. The Design Review Board reserves the right to inspect the work and the right to file a notice of noncompliance where warranted.
- 3.7 **Rights of Appeal.** A homeowner may appeal to the Design Review Board in the event of adverse action provided such appeals are submitted within thirty days after the applicant received notice of such adverse action.
- 3.8 **Questions.** If you have any questions about the foregoing procedures, feel free to call the Design Review Board at the phone number and address listed in the introductory part of these guidelines.





Where Everything Comes Together™

## ARCHITECTURAL REQUEST FORM

8390 E Crescent Pkwy, Suite 300 • Greenwood Village, CO 80111 • 303-779-5710

Please contact [DesignReview@CLACoconnect.com](mailto:DesignReview@CLACoconnect.com) with any additional questions.

Homeowner Name:

Phone Number:

Address:

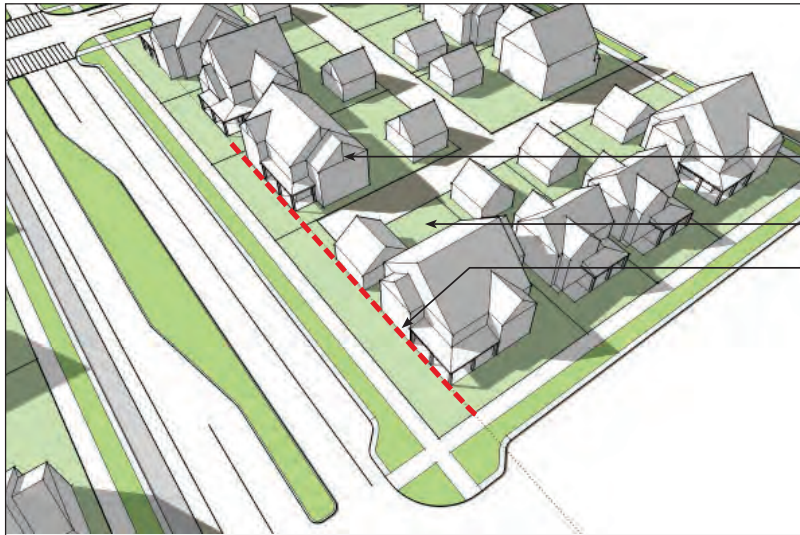
Email Address

My request involves the following type of improvement, please describe:

Planned Completion Date:

I understand that I must receive approval in order to proceed. I understand that approval does not constitute approval of the local building department and that I may be required to obtain a building permit. I agree to complete improvements promptly and within the Design Guideline standards after receiving approval.

Owner Signature:



Adjacent Lot

Reverse Corner Lot facing site street.

Side setback is equal to adjacent front setback

**REVERSE CORNER LOT SETBACKS**

*Side yard setbacks at reverse corner lots should be equal to front setbacks of adjacent lots to create a consistent streetscape.*

**3.2 SETBACK STANDARDS FOR ALL LOT TYPES**

**3.2.1 REVERSE CORNER LOT SETBACKS**

**Intent**

*In some situations it may be desirable to turn lots at the end of the block to face the street. The intent of this standard is to ensure that the side yard setback of the end lot, and the front yard setback are coordinated, so that the respective facades are aligned.*

**Design Standards**

1. The side yard setback (facing the street) of reverse-corner lots shall be the same as the front setback of the adjacent lot.
2. On lots with variable side setbacks, this standard shall apply portion of the setback that is closest to the street.

**3.2.2 PRIVATE OPEN AREA**

**Intent**

*Private outdoor spaces are an important amenity for single family detached homes. The intent of this standard is to ensure that residents have access to a private open area.*

**Design Standards**

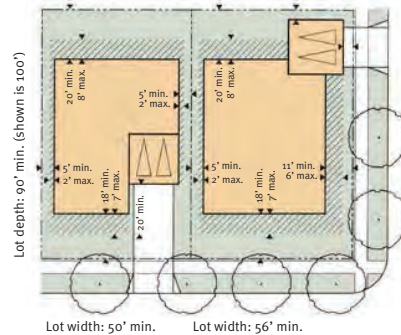
1. Excluding Green Court, Duplex, and Cottage lots, all single family detached lots shall contain an open area with a minimum dimension (in either direction) of fifteen feet (15'), and an area of 360 square feet.

**STREET-LOADED VILLAGE**

Street-Loaded Village lots are similar in size to alley-loaded Village lots and are employed in settings where rear-loading is difficult or inadvisable. Lot sizes typically range from 4,500 to 7,000 square feet with a minimum lot depth of 90 feet. Lots are required to be a minimum of 50 feet wide to accommodate driveway and garage while still allowing significant width to ensure that the house rather than the garage will be the dominant element facing the street. Garages may be placed behind the home and accessed by a side drive with a minimal

curb cut. They may also be attached to the home and front-loaded if they are set back a minimum of 20 feet from the front building wall or porch.

Up to two and one-half stories are permitted. Accessory units are permitted on up to 50% of the lots on a block face if they are located over detached garages in rear yards accessed by side drives. Typical home sizes range between 3,000 and 3,500 square feet.



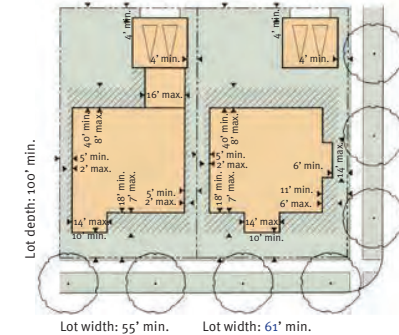
LOT DIAGRAM

**VILLAGE**

The Village lot is one of the basic single family building blocks of the neighborhood. Village lots are the largest of this type with widths ranging from 55 to 65 feet and lot sizes from 5,500 to 6,500 square feet. They typically have the same 100-foot depth as Town, Corner Duplex and Backyard Row House lots, allowing them to combine nicely with these lot types to create interesting and diverse streetscapes. Lot widths may vary to efficiently allow for different models and styles of homes. Up to two and one-half stories are permitted.



Typical home sizes are between 3,000 and 3,500 square feet. Garages may either be detached or attached by means of a one-story backbuilding. Three-car garages in a side by side configuration are permitted on these wider lots. Accessory units may also be provided on these lots up to a maximum of 50% of the lots on a block face.



LOT DIAGRAM

**3.3 SINGLE-FAMILY RESIDENTIAL LOT DIAGRAMS AND STANDARDS**

LOT SIZE	
Width	50' min., 80' max.*
Depth	90' min. setback
SETBACKS	
Principal Bldg. at Street	12' min., 18' max.**
Principal Bldg. at Side Street	11' min.
Principal Bldg. at Rear	20' min.
Principal Bldg. at Side	5' min.
Outbuilding at Rear	4' min.
Outbuilding at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	7' max.
at Side Street	6' max.
at Rear	8' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 1/2 stories max.
Backbuilding	1 story max.
Outbuilding	1 story max.***
PORCH/COVERED ENTRY	
	120 sf / 7' deep min.

Notes:  
 \* The width of the corner lots shall be a minimum of 56' and maximum of 86'.  
 \*\* The maximum setback may be increased to allow for a deeper porch  
 \*\*\* A second-story is permitted on detached or semi-detached outbuildings with accessory units above.

1. Garages shall have a maximum width of 24'.  
 2. When front-loaded, the face of the garage shall have a minimum of 20' of setback from the front face or the porch of the principal building.  
 3. A minimum of 6' setback at rear or side street for outbuilding is required if there is utility easement runs along the rear or side street of the property line  
 4. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

LOT SIZE	
Width	55' min., 80' max.*
Depth	100' min.
SETBACKS	
Principal Bldg. at Street	14' of the Frontage 10' min.
Remaining Frontage	18' min.
Principal Bldg. at Side Street	14' of the Frontage 6' min.
Remaining Frontage	11' min.
Principal Bldg. at Rear	40' min.
Principal Bldg. at Side	5' min.
Outbuilding at Rear	4' min.
Outbuilding at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	7' max.**
at Side Street	6' max.***
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 1/2 stories max.
Backbuilding	1 story max.
Outbuilding	1 story max.***
PORCH/COVERED ENTRY	
	120 sf / 7' deep min.

Notes:  
 \* Width of the corner lots shall be a minimum of 61' and a maximum of 86'.  
 \*\* The 14' section with 10' minimum setback shall not have any further encroachment into the front yard.

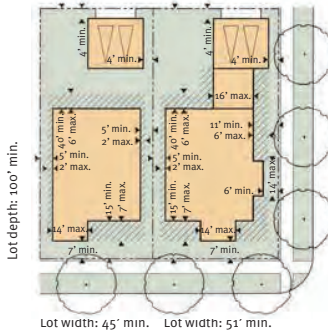
\*\*\* The 14' section with 6' minimum setback shall not have any further encroachment into the side street yard.  
 \*\*\*\* A second-story is permitted on detached or semi-detached outbuildings with accessory units above.  
 1. Garages shall have a maximum width of 24'.  
 2. Garages may be attached only by means of a backbuilding with a max. width of 16' and a min. floor area of 128 sq. ft.  
 3. A minimum of 6' setback at rear or side street is required for outbuilding if there is utility easement runs along the rear or side street of property line  
 4. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval



**TOWN**

The Town lot is similar to the Village lot but lot widths are between 45 and 55 feet. Cars and service functions access the lots from the rear with no impact on the streetscape. These lots may be mixed on a block face with Village or City lots as well as with Corner Duplex and Backyard Row House lots. Moderate front yard setbacks ensure compatibility when these lots

are employed next to Village or City lots. Building heights are typically two stories but an additional half-story is permitted, if desired. Garages may either be detached or attached by means of a one-story backbuilding. Typical home sizes range from 2,500 to 2,800 square feet.



LOT DIAGRAM

LOT SIZE	
Width	45' min., 55' max.*
Depth	100' min.
FLOOR AREA RATIO	
SETBACKS	
Principal Bldg. at Street	
14' of the Frontage	7' min.
Remaining Frontage	15' min.
Principal Bldg. at Side Street	
14' of the Frontage	6' min.
Remaining Frontage	11' min.
Principal Bldg. at Rear	40' min.
Principal Bldg. at Side	5' min.
Outbuilding at Rear	4' min.
Outbuilding at Side Street	4' min.

**Notes:**

\* Width of the corner lots shall be a minimum of 51' and a maximum of 61'.

\*\* The 14' section with 7' minimum setback may not have any further encroachment into the front yard.

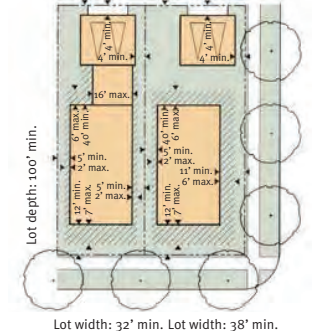
ENCROACHMENTS	
at Street or Green	7' max.**
at Side Street	6' max.***
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 1/2 stories max.
Backbuilding	1 story max.
Outbuilding	1 story max.
PORCH/COVERED ENTRY	
	100 sf / 7' deep min.

- \*\*\* The 14' section with 6' minimum setback may not have any further encroachment into the side street yard.
- Garages shall have a maximum width of 24'.
  - Garages may be attached only by means of a one-story-high backbuilding with a maximum width of 16' and a minimum floor area of 128 square feet.
  - A minimum of 6' setback at rear or side street is required for outbuilding if there is utility easement runs along the rear or side street of property line
  - Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

**CITY**

City lots are similar to Village and Town lots with a traditional street presentation and vehicular access provided by a rear alley. Lot widths are narrower in the 38-foot to 45-foot range and lot sizes range from 3,800 to 4,500 square feet. City lots may combine with Town lots, but not Village lots, on the same block face. This will ensure a modest but not excessive variation in front yard setbacks.

City lots may also combine with Corner Duplex and Backyard Row Houses to create lively and diverse streetscapes. Building heights are a maximum of two stories. Garages may either be detached or attached by means of a one-story backbuilding. Typical home sizes range from 1,900 to 2,400 square feet.



LOT DIAGRAM

LOT SIZE	
Width	32' min., 38' max.*
Depth	100' min.
SETBACKS	
Principal Bldg. at Street	12' min.
Principal Bldg. at Side Street	11' min.
Principal Bldg. at Rear	40' min.
Principal Bldg. at Side	5' min.
Outbuilding at Rear	4' min.
Outbuilding at Side Street	4' min.

**Notes:**

\* Width of the corner lots shall be a minimum of 38' and a maximum of 45'.

- Garages shall have a maximum width of 24'.
- Garages may be attached only by means of a one-story-high backbuilding with a maximum width of 16' and a minimum floor area of 128 square feet.

ENCROACHMENTS	
at Street or Green	7' max.
at Side Street	6' max.
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
Backbuilding	1 story max.
Outbuilding	1 story max.
PORCH/COVERED ENTRY	
	80 sf / 6' deep min.

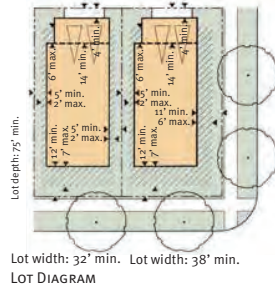
- A minimum of 6' setback at rear or side street is required for outbuilding if there is utility easement runs along the rear or side street of property line
- Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

**COTTAGE**

The Cottage lot is designed to accommodate smaller single-family detached building types on 75-foot-deep lots. Lot widths range from 32 feet to 46 feet. Two-story buildings with porches close to the sidewalk create opportunities for neighborly interaction. Cottage lots may combine with the Compact Duplexes or Row Houses to create interesting and diverse streetscapes.



Garages are intended to attach directly to the rear of the home with second floor living area allowed to cover a portion of the garage, up to the required 14-foot rear setback. Typical home sizes range between 1,500 and 2,100 square feet.



LOT SIZE	
Width	32' min., 40' max.*
Depth	75' min.
FLOOR AREA RATIO	
SETBACKS	
Principal Bldg. at Street	12' min.
Principal Bldg. at Side Street	11' min.
Principal Bldg. at Rear	14' min.
Principal Bldg. at Side	5' min.
Garage at Rear	4' min.
Garage at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	7' max.
at Side Street	6' max.
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
PORCH/COVERED ENTRY	
	80 sf / 6' deep min.
PORCH/COVERED ENTRY	

- Notes:
- \* Width of the corner lots shall be a minimum of 38' and a maximum of 46'.
  - 1. Only attached garages are permitted on this lot type.
  - 2. A minimum of 6' setback at rear or side street is required from the garage if there is utility easement runs along the rear or side street of property line

- 3. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

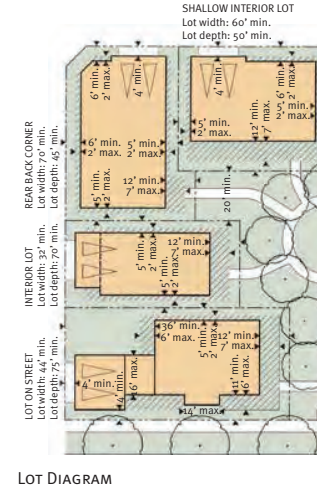
**GREEN COURT**

Green Court lots provide a counterpoint to the more typical streetscapes with a traditional street presentation. They help create a mini-neighborhood promoting community and provide a safe place for young children to play. They can also provide public pedestrian linkages through the neighborhood connecting streets together without adding pavement.

Green Courts may range in size with a minimum four homes fronting to a green court. Lot sizes and dimensions vary depending upon their placement within the court. Four basic shapes and dimensions are diagrammed to show the character and flexibility of different lot configurations. The main entrance to the court can be necked down to provide a sense of arrival with the interior of the court widening out into a larger public room. Families of porches within the court help reinforce a sense of community.



Garages are typically attached directly to each home but backbuildings are sometimes employed on deeper lots. Home sizes vary with lot size, creating diversity within the Green Court. Typical home sizes range from 1,400 to 2,100 square feet.



LOT SIZE	On Street	Interior	Shallow Interior	Rear Back Corner
Width	44' min., 50' max.	32' min., 45' max.	60' min., 70' max.	70' min., 90' max.
Depth	75' min.	70' min.	50' min.	45' min.
SETBACKS				
Principal Bldg. at Front*	12' min.	12' min.	12' min.	12' min.
Principal Bldg. at Side Street	6' or 11' min.**	NA	NA	NA
Principal Bldg. at Rear	23' min.	14' min.	6' min.	6' min.
Principal Bldg. at Side	5' min.	5' min.	5' min.	5' min.
Garage at Rear	4' min.	4' min.	4' min.	4' min.
Garage at Side Street	4' min.	NA	NA	NA
ENCROACHMENTS				
at Green	7' max.	7' max.	7' max.	7' max.
at Side Street	6' max.	NA	NA	NA
at Rear	6' max.	6' max.	2' max.	2' max.
at Side	2' max.	2' max.	2' max.	2' max.
BUILDING HEIGHT				
Principal Building	2 stories max. of all types			
PORCH/COVERED ENTRY				
	100 sf / 6' deep min. of all types			

- Notes:
- \* The side that abuts the green court shall be considered as front for all green court lot types.
  - \*\* 14' of the frontage is permitted to have a minimum of 6' setback with no further encroachment allowed. The remaining frontage shall have a minimum setback of 11'.
  - 1. For "lots on street" the garage may be attached by means of a backbuilding with a maximum width of 16'. For all other lot types only attached garages are permitted.
  - 2. Single Family Duplex is allowed in the green court. Single Family Duplex in green court shall meet Cottage Duplex requirements for lot size, setbacks, encroachments, building heights, and porch/covered entry.
  - 3. A min. of 6' setback at rear or side street is required for garage if there is utility easement runs along rear or side street of property line
  - 4. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval



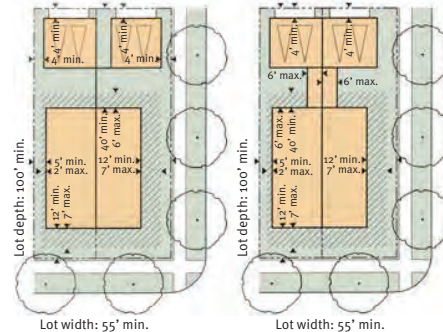
### CORNER DUPLEX

Corner Duplex lots, as the name implies, take advantage of their prominent location by having two ample porches, each facing its own street. By combining two smaller homes together, the resulting building mass is appropriate to anchor the corner of the block while still being compatible with other building types on the block face. A minimum lot width of 55 feet is required with lot sizes ranging from 5,500 to 7,000 square feet. Vehicular and service access is provided from alleys at the rear of the lot.

The 100-foot lot depth makes them compatible with Village, Town, and City lots. The minimum front and

side yard setbacks along the street are similar to encourage an attractive street presentation with large porches. The Corner Duplex can be particularly useful in providing a “bookend” to Backyard Row Houses located in the interior of the block.

Two-car garages are typically attached to one another, and may be detached or connected to the principal structure by means of a backbuilding. Typical individual home sizes range from as small as 1,000 to as large as 2,000 square feet, with the combined size typically between 2,500 and 3,500 square feet.



LOT DIAGRAM

LOT SIZE	
Width	55' min., 70' max*.
Depth	75' min*.
FLOOR AREA RATIO	
SETBACKS	
Principal Bldg. at Street	12' min.
Principal Bldg. at Side Street	12' min.
Principal Bldg. at Rear	40' min.
Principal Bldg. at Side	5' min.
Outbuilding at Rear	4' min.
Outbuilding at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	7' max.
at Side Street	76' max.
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
Backbuilding	1 story max.
Outbuilding	1 story max.
PORCH/COVERED ENTRY	
	100 sf / 7' deep min. (each unit)

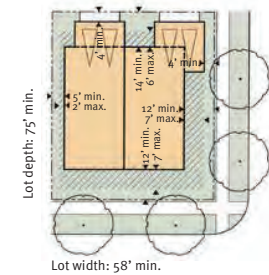
**Notes:**

- Garages may be attached only by means of a one-story high backbuilding with a maximum width of 6' for each unit.
- A minimum of 6' setback at rear or side street is required for outbuilding if there is utility easement runs along the rear or side of property line
- Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

### COTTAGE DUPLEX

The Cottage Duplex lot is designed to be employed on the interior and corners of blocks with a minimum 75-foot depth. Lot widths range from 58 feet to 72 feet. Both street frontages can be addressed with ample porches that provide welcoming faces to the street. This presentation may eliminate the need for embellished side elevations. The Cottage Duplex may combine with Cottage and Compact Row House lots to create lively and diverse streetscapes.

Similar to Cottage lots, vehicular and service access is provided from rear-loaded alleys with garages attached directly to each home. Second-stories may cover a portion of the garage up to the required rear setback line of 14 feet. Typical home sizes range from 1,100 to 2,000 square feet with total building size limited to a maximum of 3,200 square feet.



LOT DIAGRAM

LOT SIZE	
Width	58' min., 65' max*.
Depth	75' min*.
SETBACKS	
Principal Bldg. at Street	12' min.
Principal Bldg. at Side Street	12' min.
Principal Bldg. at Rear	14' min.
Principal Bldg. at Side	5' min.
Garage at Rear	4' min.
Garage at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	7' max.
at Side Street	7' max.
at Rear	4' max.
at Side	4' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
PORCH/COVERED ENTRY	
	80 sf / 6' deep min.

**Notes:**

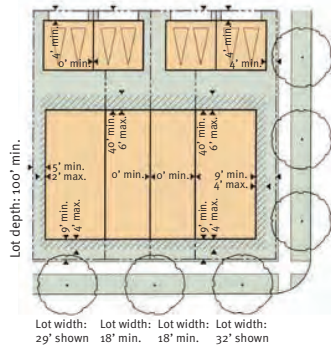
- Only attached garages are permitted on this lot type.
- A minimum of 6' setback at rear or side street is required for garage if there is utility easement runs along the rear or side street of property line
- Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval.

**BACKYARD ROW HOUSE**

The Backyard Row House utilizes common walls and 100-foot deep lots to create well-defined back or side yards. Rear alleys provide for vehicular and service access. They may be combined with Village, Town, or City lots as well as with Corner Duplexes. An overall row house group may have as many as six units, but groups of three to four units are encouraged when possible. The principal building may be placed as close as 8 feet to the front property line with covered entries just a few feet from the sidewalk. Lot widths range from 18 feet to 24 feet with wider lots at a corner or break to allow for setbacks. Building heights are typically two stories but an additional story may be allowed in certain designated locations.



Main level master bedrooms are possible for wider lots and end units. Two-car side by side garages are typically detached to create a courtyard but they may also be attached by means of a backbuilding. Backbuildings can be mixed with detached garages to create varied patterns for well-defined and private outdoor rooms adjacent to the living space. Where 18-foot-wide row houses are employed lots may be wider at the rear to accommodate a two car garage. Typical individual home sizes range from 1,100 to 1,900 square feet.



LOT DIAGRAM

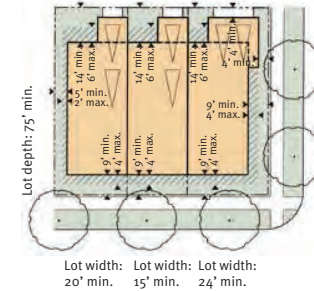
**COMPACT ROW HOUSE**

The Compact Row House lot is designed for blocks with a minimum 75-foot depth and may combine with Cottage and Cottage Duplex lots on the same block face. The minimum lot width is 15 feet with potential wider end unit lots at corners or breaks between buildings.

Similar to Cottage and Cottage Duplex lots, vehicular and service access is provided from rear-alleys with garages attached directly to each home. Second-stories may cover a portion of the garage up to the required rear setback line of 14 feet.



Garage parking may use a side by side configuration or employ tandem spaces. When tandem spaces are used a small but well-defined rear courtyard can be created for the home. Typical home sizes range from 1,100 to 1,900 square feet.



LOT DIAGRAM

LOT SIZE	
Width	18' min., 40' max.*
Depth	100' min.
FLOOR AREA RATIO	
SETBACKS	
Principal Bldg. at Street	9' min.
Principal Bldg. at Side Street	9' min.
Principal Bldg. at Rear	40' min.
Principal Bldg. at Side	5' min. or 0' req.
Garage at Rear	4' min.
Garage at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	4' max.
at Side Street	4' max.
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
Outbuilding	1 story max.
PORCH/COVERED ENTRY	
PORCH/COVERED ENTRY	40 sf / 4' deep min.

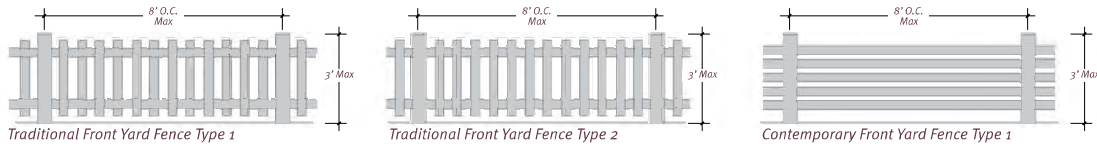
- Notes:
- \* Width of the lot shall be a minimum of 23' at the break, and a minimum of 27' at the street corner.
  - 1. A minimum of 6' setback at rear or side street is required for garage if there is utility easement runs along the rear or side of property line
  - 2. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

LOT SIZE	
Width	15' min.*, 32' max.
Depth	75' min.
SETBACKS	
at Street	9' min.
at Side Street	9' min.
at Rear	14' min.
at Side	5' min.
Garage at Rear	4' min.
Garage at Side Street	4' min.

ENCROACHMENTS	
at Street or Green	4' max.
at Side Street	4' max.
at Rear	6' max.
at Side	2' max.
BUILDING HEIGHT	
Principal Building	2 stories max.
PORCH/COVERED ENTRY	
PORCH/COVERED ENTRY	40 sf / 4' deep min.

- Notes:
- \* Width of the lot shall be a minimum of 20' at the break, and a minimum of 24' at the street corner.
  - 1. Only attached garages are permitted on this lot type.
  - 2. A minimum of 6' setback at rear or side street is required for garage if there is utility easement runs along the rear or side street of property line
  - 3. Non standard lot size due to irregularity of block layout, i.e. block on a curved street is exception and based on HUDRB approval

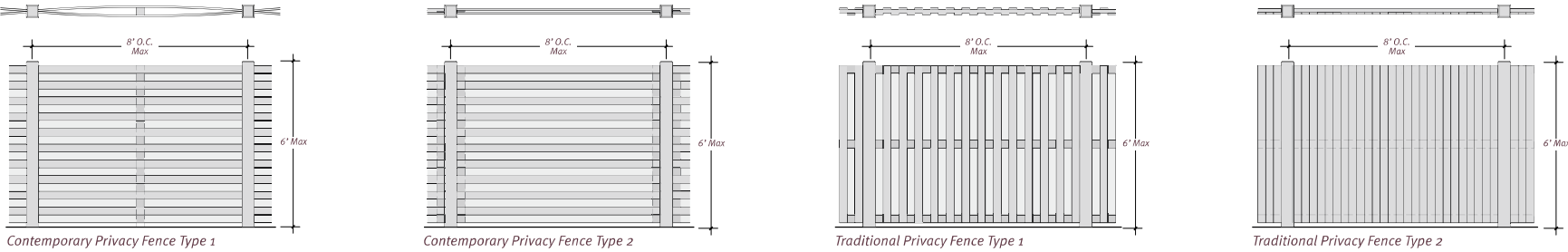




Traditional Front Yard Fence Type 1  
 Traditional Front Yard Fence Type 2  
 Contemporary Front Yard Fence Type 1  
 Front yard fences and walls must be no more than 3 feet in height. Designs may vary from open or closed picket or wrought iron fences to masonry walls faced with brick, stone, or stucco.

- Materials:
- 1"x 4" Pickets
  - 2"x 4" Cross Members
  - 6"x 6" Posts

General Note:  
 Alternative dimensions to be reviewed and approved by the Design Review Board.



Contemporary Privacy Fence Type 1  
 Contemporary Privacy Fence Type 2  
 Traditional Privacy Fence Type 1  
 Traditional Privacy Fence Type 2  
 Privacy fences may be very different, with the design of each complementing the architectural character of the house.

### 3.3.9 FENCES AND WALLS

#### Intent

Fences and walls are important design elements that can complement building architecture and create rooms for outdoor living around the home. They help define the line between public and private areas and create the framework within which landscaping is placed. Generally low walls and fences are appropriate in public areas such as front yards while higher walls and fences may be used to create privacy for rear yards.

#### Design Standards

1. Applicant may design a custom fence according to the standards and guidelines below. Or the applicant may select one of the pre-approved fence designs illustrated above.
2. Fences and walls shall meet all of the regulations contained in the City of Aurora Fence, Wall, and Awning Ordinance No. 2004-78 as well as the following guidelines and standards. When there is conflict between the two, the guidelines and standards contained in this document shall control.
3. Front yard fences or low walls with a height greater than 3 feet are not permitted in the front yard or along the front 50% of the frontage of a side yard along a street. Front yard fences may be made of painted or stained spaced wood pickets, masonry walls faced with brick, stucco, or stone, or steel/iron fencing materials. Gates shall be made of stained or painted wood or metal.
4. Vinyl, chain link, and split rail fencing and materials are not permitted.
5. Privacy fences or walls shall be a maximum of 6 feet in height. Privacy fences or walls shall be constructed with stained or painted wood boards, brick, stone, stucco or a combination of the above.
6. Privacy fences or walls shall be located a minimum of 10 feet behind the front building wall that faces the street.
7. Trash receptacles, if placed outside, shall be located at the rear of the lot behind a fence enclosure that screens them from view from the alley. The enclosure shall match the design of other fences on the property and be a minimum of one foot higher than the object being screened.
8. Privacy fences for all residential homes siding arterial streets shall have consistent design and

shall be coordinated by home builders to have consistency along the arterial street frontage. Home builders shall submit fence design for HUDRB review and approval.

#### Design Guidelines

1. Walls and fences should be constructed of materials that complement the architectural character of the residence. Generally more formal urban materials, such as painted wood, brick, or metal, are appropriate rather than rustic materials such as split rails and unpainted wood.
2. Site walls should match building walls or should be constructed of masonry with brick, stone, or stucco facing.
3. Transition walls and fences that step up more gradually are encouraged at the intersections of varying wall and fence heights.





TYPE	SINGLE FAMILY DETACHED	SINGLE FAMILY ATTACHED	MULTI-FAMILY
Shade Trees	2.5" caliper	2.5" caliper	2.5" caliper
Ornamental Trees (single stemmed)	2" caliper	2" caliper	2" caliper
Ornamental Trees (multi-stemmed)	6' clump	6' clump	6' clump
Evergreen Trees	8' height	8' height	8' height
Shrubs	5 gal.	5 gal.	5 gal.
Groundcovers	2.25" pots	2.25" pots	2.25" pots
Ornamental Grasses	1 gal.	1 gal.	1 gal.

TYPE	SIZE/SPREAD	COVERAGE
Shade trees	min. 2.5" Caliper	625 sf
Ornamental trees	min. 2" Caliper/6' clump	144 sf
Coniferous trees	min. 8' height	200 sf
Shrubs/Perennials		
	Low Spreading < 4'	16 sf
	Medium 4'-6'	32sf
	Tall > 6'	64 sf

## 5.1 LANDSCAPE STANDARDS

### 5.1.1 CONFORMANCE WITH CITY OF AURORA STANDARDS

#### Intent

*The intent of the following standards is to create consistently high-quality, sustainable landscapes throughout the Neighborhoods. Xeriscape principles, and in particular water conservation, guide the landscape vision for Horizon Uptown. The following standards augment City of Aurora Landscape Ordinance in order to emphasize these principles.*

#### Design Standards

- All planting shall conform to the City of Aurora Landscape Ordinance, unless addressed in the standards below. In cases where the City of Aurora Standards and the Horizon Uptown Standards conflict or are redundant, the Horizon Uptown Design Standards and Guidelines shall apply.
- All planting shall conform to the Xeriscape Design Standards in Sec. 146-1437.

### 5.1.2 PLANT MATERIAL REQUIREMENTS

#### Intent

*To ensure all proposed landscapes utilize native or xeric plant species as much as possible, and that each residential project or lot has sufficient landscape to create a quality public realm.*

#### Design Standards

- No less than ninety percent (90%) of all plant materials used to landscape each site shall be selected from the low water use zone found in the City of Aurora Plant List, the City of Aurora Recommended Xeriscape Plant List, the Colorado State University Cooperative Extension Fact Sheets on Xeriscaping, or other approved xeriscape plant material reference.
- Plant materials shall be installed at the minimum sizes described in Table 5.1.

- Plant coverage shall be calculated according to Table 5.2
- Table 5.3 describes the minimum planting requirements for each residential development type. Side yards facing streets shall meet the requirements of front yards.
- At installation, living plant materials shall cover a minimum of 50% of all plant beds and raised planters.
- Planting beds shall be a minimum of six feet (6') wide
- Landscape shall be designed based on a water budget with a maximum of 15 gal/sf/yr when fully established, in addition to natural precipitation.

#### Design Guidelines

- Front yard landscape design should clearly delineate individual Single Family Attached residences.

TABLE 5-3 MINIMUM PLANT REQUIREMENTS								
LOT AREA	MAXIMUM TURF (% OF AREA)	TREE TYPE <sup>6)</sup> SHADE TREE/ ORNAMENTAL/ EVERGREEN TREE	MIN. LANDSCAPE COVERAGE <sup>3)</sup>	MINIMUM TYPES		MULCH		MAX. HARDSCAPE <sup>4)</sup>
				SHRUBS	PERENNIALS/ GRASSESSES	ORGANIC	INORGANIC	
<b>SINGLE FAMILY DETACHED</b>								
Front Yard	35%	1 per lot	90%	2	2	Planting beds shall be 100% covered by min. 3" mulch	Max. 50% outside of turf/ planting bed areas	20% max
Side Yard (Corner Lot)		1 per lot	90%					
Side Yard <sup>1)</sup> (Interior)		Not required	N/A	N/A	N/A			
Rear Yard <sup>1)</sup>		1 per lot	N/A	N/A	N/A			
Alley <sup>2)</sup>	Not permitted		50%	2				
<b>SINGLE FAMILY ATTACHED</b>								
Front Yard	35%	Duplex: 2 per lot (1 per unit) <sup>5)</sup>	90%	2	2	Planting beds shall be 100% covered by min. 3" mulch	Max. 50% outside of turf/ planting bed areas	20% max
Side Yard (Corner Lot)		1 per lot	90%					
Side Yard <sup>1)</sup> (Interior)		Not required	N/A	N/A	N/A			
Rear Yard <sup>1)</sup>		Duplex: 2 per lot (1 per unit) <sup>5)</sup>	N/A	N/A	N/A			
Alley <sup>2)</sup>	Not permitted		50%	2				

TABLE 5-3 MINIMUM PLANT REQUIREMENTS (CONTINUE)								
LOT AREA	MAXIMUM TURF (% OF AREA)	TREE TYPE <sup>6)</sup> SHADE TREE/ ORNAMENTAL/ EVERGREEN TREE	MIN. LANDSCAPE COVERAGE <sup>3)</sup>	MINIMUM TYPES		MULCH		MAX. HARDSCAPE <sup>4)</sup>
				SHRUBS	PERENNIALS/ GRASSESSES	ORGANIC	INORGANIC	
<b>GREEN COURT HOMES</b>								
Front Yard	Not permitted	1 per lot	90%	2	2	Planting beds shall be 100% covered by min. 3" mulch	Max. 50% outside of turf/ planting bed areas	20% max
Side Yard (Corner Lot)		1 per lot	90%					
Side Yard <sup>1)</sup> (Interior)		Not required	N/A	N/A	N/A			
Rear Yard <sup>1)</sup>		1 per lot	N/A	N/A	N/A			
Alley <sup>2)</sup>	Not permitted		50%	2				
Common Green	35%	1 per 1,000 sf						
<b>MULTI FAMILY</b>								
Common Area	35%	1 per 2,000 sf	80%	2	2	Planting beds shall be 100% covered by min. 3" mulch	Max. 50% outside of turf/ planting bed areas	20% max
Private Outdoor Spaces	Not permitted	Not required	Not required	N/A	N/A			

**NOTE:**

- <sup>1)</sup> Rear and side Yards inside of privacy fence and screened from public view are not regulated, except for 1 required rear yard tree
- <sup>2)</sup> The area between rear yard privacy fence and alley way or within alley's utility easement
- <sup>3)</sup> Exclude no plant zone
- <sup>4)</sup> Exclude driveway
- <sup>5)</sup> Town homes or Row homes require one front yard and one corner lot trees for end units only (corner units abutting public streets and open space, including open space between 2 townhomes).
- <sup>6)</sup> All street trees shall be planted per Conceptual Site Plan

**5.1.3 IRRIGATION**

**Intent**

*Irrigation sensors, which supply controllers with information about the environment, are key players in water conservation. They can monitor soil moisture, rain, wind, freeze, and evapotranspiration in order to provide precisely the amount of water needed to keep plants healthy.*

**Design Standard**

If an irrigation system is installed, system controls shall include at least one of the following:

1. Soil moisture, rain sensor, or other irrigation efficiency device
2. Evapotranspiration (ET) controllers that allow flexible programming to adjust watering schedules to the historical needs of plant types
3. Evapotranspiration (ET) device featuring "real-time" feedback

**5.1.4 DESIGN QUALITY**

**MASSING & LAYERING**

1. Planting plans should consider horizontal and vertical layering of overhead, eye-level, and ground plane (trees, shrubs, and ground covers) in order to define space and add character.
2. Shrubs and ground covers should be grouped in beds at the base of the building or porch, and/or along the entry walk. Turf and low spreading groundcovers should be placed in the foreground, along the sidewalk.
3. Trees, shrubs, and groundcovers should be planted in masses in order to define outdoors spaces, and reinforces entries and building design.
4. Massing plants of one species is encouraged, particularly along fences and walls.

**SEASONAL INTEREST**

1. Planting schemes should consider seasonal changes in foliage, color, and texture in order to create interest throughout the year.

**5.1.4 PRIVATE OUTDOOR SPACE**

**Intent**

*Some residential building types, such as townhomes and apartments, have little or no private outdoor space. Private outdoor spaces at the ground floor not only create space for residents, they also create activity along the street. The goal of these standards is to encourage developers to create private porches, courtyards and gardens, and provide a basic framework for their design.*

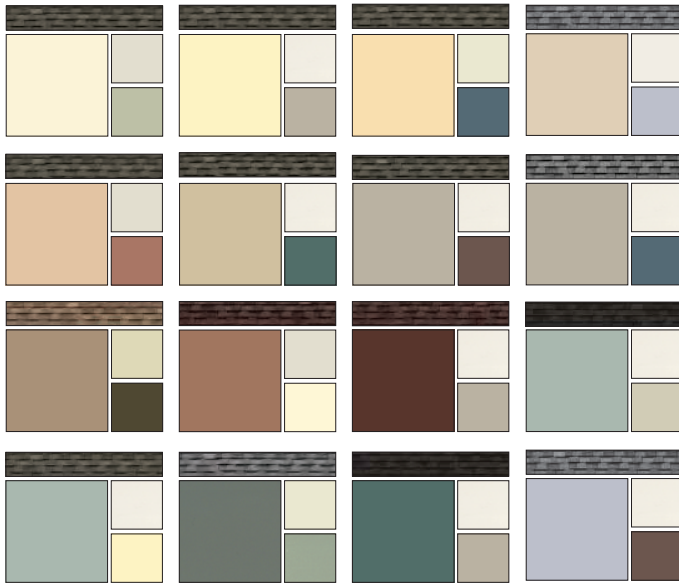
**Design Standards**

1. Private outdoor spaces are permitted and encouraged in front yard setback areas in all single family attached and multi-family lot types.

**Design Guidelines**

1. Private outdoor spaces should be defined by low wall, fence, or hedge. Where they are accessible from a public or common sidewalk, a gate should be provided.





The color palette shown here shows a variety of color schemes that would be appropriate for many architectural expressions at Horizon Uptown. Color choices include but are not limited to this palette.



Two examples of color placement on traditional buildings with body trim and accent colors enhancing the architectural character.

### 3.3.8 COLOR

#### Intent

***Color selection and placement on an individual residence and the overall composition of building colors on the block face are equally important in creating neighborhood character. Horizon Uptown seeks to create harmonious compositions using a diverse palette of colors.***

***Color preferences are often affected by local traditions and tend to change over time with specific colors or combinations coming in and out of fashion. Recognizing that creating a consensus in regard to specific standards for color selection is a controversial proposition, this section is composed mostly of guidelines accompanied by examples of color schemes that have been previously employed with success.***

#### Design Standards

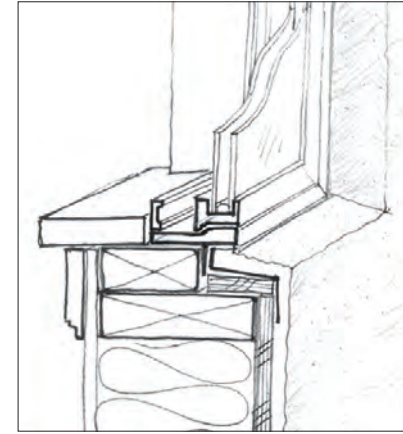
1. Significant variation in the range of colors on a block face is required. The same color scheme shall not be used more than twice on a block. Block face color compositions as well as individual house selections should be submitted to the HUDRB for review and approval.

#### Design Guidelines

1. Buildings should typically express three main colors: roof, main body exterior wall, and trim elements. Limited use of a fourth color as an accent is permitted to create greater visual interest, identity, and, individuality.
2. Buildings clad in brick or stone may employ additional body colors, when other wall materials such as stucco, painted siding or shingles are combined with the brick or stone.
3. Corner and Cottage Duplexes should be treated as one composition with one color scheme and the same body color for both units. Accent colors on exterior door, or porch trim may vary to create individual identity.
4. A row house group should be treated as one overall composition but individual body colors may have variations to express the identity of individual units.
5. Strong colors should be muted shades or tints of the pure hue.
6. Highly saturated colors should be used sparingly, as accents only.
7. Vertical color changes should occur at an inside corner. Horizontal color changes should occur at massing articulations, a change in material, or a significant trim band.
8. Wall colors should be coordinated with roof colors and presented together for review and approval by the HUDRB.
9. When choosing an individual roof color, a selection that creates a harmonious composition with other roofs is encouraged. Subtle differences rather than stark contrast are preferred.
10. Roof colors should be selected from a palette limited to warm grays, rust, and earth tones. Bright primary colors are discouraged.



*Vents, flues and other roof penetrations should be kept to the rear, out of view from the street.*



*Windows within stucco walls should be recessed a minimum of 2" into the wall as shown in this diagram.*

## ROOF MATERIALS

### Design Standards

1. Primary pitched roofs shall be covered with asphalt/fiberglass, slate, or fire-treated wood shingles; concrete tile, ceramic tile, or standing seam metal roofing. Flat roof shall be commercial type roofing material.
2. Roof penetrations, including vent stacks, shall match the color of the surrounding roof. Group penetrations together when possible and avoid placing penetrations on the primary roof facing the street.
3. Large flues, HVAC equipment, swamp coolers, satellite dishes, play structures, hot tubs, and similar appurtenances shall be placed on the rear of the lot to minimize their visibility from the street.
4. Skylights shall be flat panel only.
5. Gutters and downspouts shall be constructed of painted galvanized metal, painted aluminum, or copper.
6. Solar panels shall occupy no more than 50% of the roof area
7. All solar panels shall be coplanar with the roof.

### Design Guidelines

1. Where skylights are employed, operable skylights are preferred to increase natural ventilation within the home.

## EXTERIOR TRIM

### Design Standards

1. Trim shall be wood, cellular PVC, smooth-face cement boards, or exterior MDF (medium density fiberboard). Alternative materials may be approved by the HUDRB.

### Design Guidelines

1. Doors and windows should generally be trimmed with a minimum 2" brick mold or 1" x 4" painted wood, cement board, or MDF, or cellular PVC.
2. Stucco walls are encouraged to employ a recessed trim detail with a minimum recess of 2".
3. Exterior trim should not be used to link windows on the first and second floors.